

RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

DEVELOPMENT ADVISORY COMMITTEE ("DAC") INITIAL CASE TRANSMITTAL RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE PO Box 1409 Riverside, 92502-1409

DATE: March 28, 2019

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Fire Department (Riv. Office)
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Riv. Co. Regional Parks & Open Space
P.D. Environmental Programs Division

P.D. Geology Section
Riv. Co. Trans. Dept. – Landscape Section
P.D. Archaeology Section
Riv. Co. Waste Resources Management Dept.
Riv. Co. Airport Land Use Commission
Board of Supervisors - Supervisor: Jeffries
Planning Commissioner: Bruce Shaffer

City of Riverside Sphere of Influence

PRE-APPLICATION REVIEW NO. 190010 – Applicant: CJC Designs, Inc. c/o Fred Cohen – Engineer/Representative: Adkan Engineers c/o Mitch Adkison – First Supervisorial District – Woodcrest Zoning District – Lake Mathews/Woodcrest Area Plan: Community Development: Commercial Retail (CD: CR) – Location: North of Van Buren Blvd, south of Iris Avenue, east of Chicago Avenue, and west of Little Court - 2.84 ac – Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** Pre-Application Review No. 190010 ("the Project") is proposing a gas station with a canopy for 10 pump stations, a 3,800 sqft. convenience store, an attached drive-thru carwash, and an attached 1,200 sqft. retail tenant suite. The canopy will offer 20 pump positions for vehicle fueling. Proposed parking of 29 parking stalls. Current PAR proposal will not develop the full 2.84 acre parcel. APN 266-020-001. Related Cases: PAR00921 and COC06293. Project Planner: Tim Wheeler at 951-955-6060 or email at twheeler@rlvco.org – **BBID: 223-095-900**

DAC staff members and other listed Riverside County Agencies, Departments and Districts staff: A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Public Land Use System (PLUS) on or before the indicated DAC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the PLUS routing on or before the above date. This case is scheduled for a **DAC meeting on April 11, 2019**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

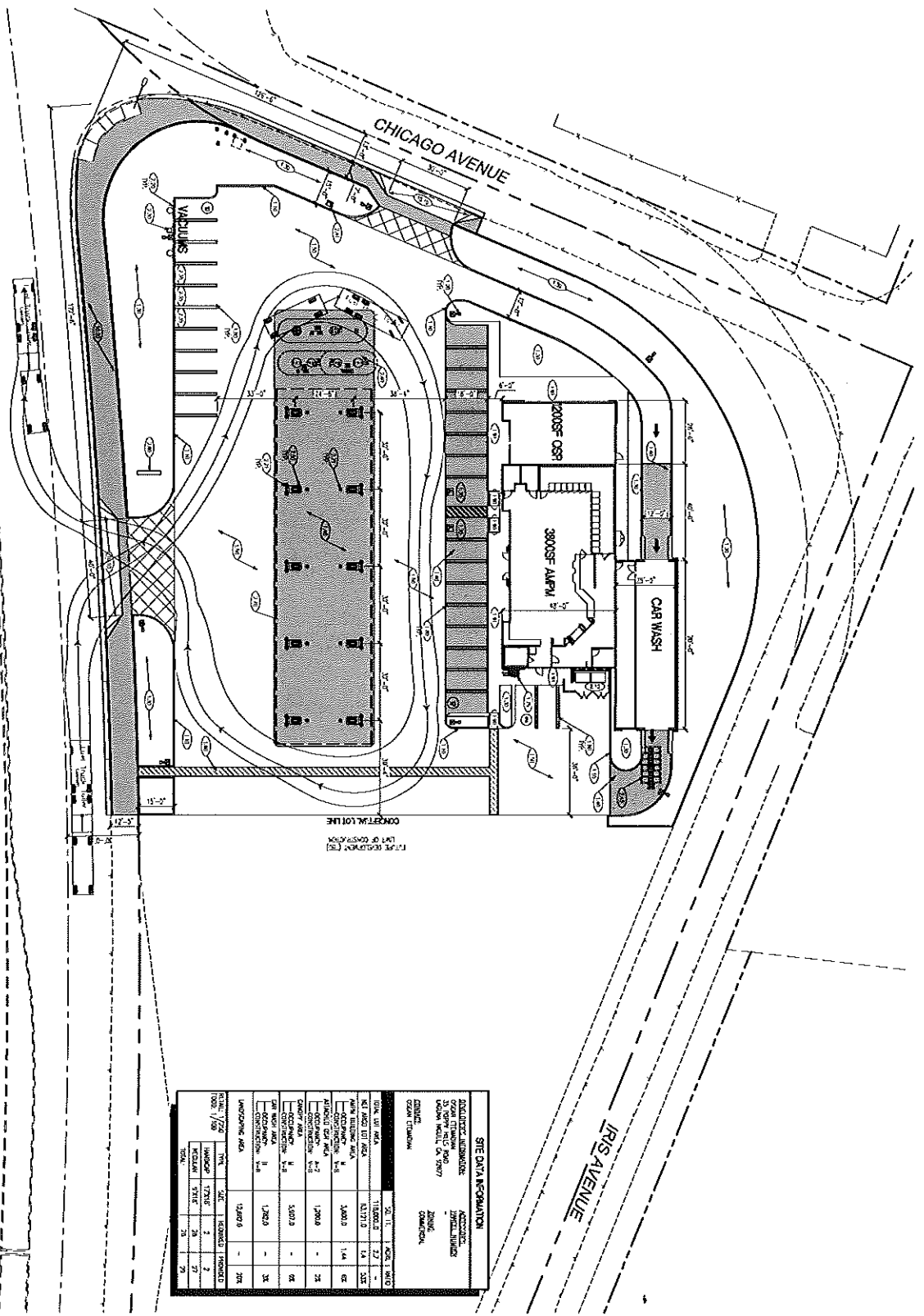
SITE PLAN

5/23/2008

VAN BUREN BOULEVARD

CHICAGO AVENUE

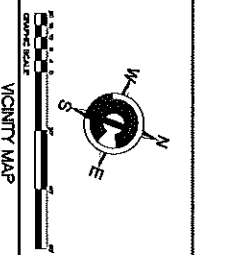
IRIS AVENUE



CONCRETE FOUNDATION
LIST OF ELEVATIONS (ft)

LANDSCAPE AREA		TOTAL		REMOVED	
AREA	AMOUNT	AREA	AMOUNT	AREA	AMOUNT
LANDSCAPE AREA	12,873				
TOTAL	12,873				

SITE DATA INFORMATION		CONSTRUCTION		ASPECTS	
LANDSCAPE AREA	12,873	CONCRETE FOUNDATION	CONCRETE FOUNDATION	CONCRETE FOUNDATION	CONCRETE FOUNDATION
CONCRETE FOUNDATION	CONCRETE FOUNDATION	CONCRETE FOUNDATION	CONCRETE FOUNDATION	CONCRETE FOUNDATION	CONCRETE FOUNDATION



VICINITY MAP

GRAPHIC SCALE

CONSTRUCTION NOTES

130. PROVIDE ALL UTILITIES WITH APPROVAL AND THE OWNER'S SIGNATURE.
131. PROVIDE ALL UTILITIES WITH APPROVAL AND THE OWNER'S SIGNATURE.
132. PROVIDE ALL UTILITIES WITH APPROVAL AND THE OWNER'S SIGNATURE.
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134. PROVIDE ALL UTILITIES WITH APPROVAL AND THE OWNER'S SIGNATURE.

CONSTRUCTION NOTES

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134. PROVIDE ALL UTILITIES WITH APPROVAL AND THE OWNER'S SIGNATURE.

CJC Design, Inc.
Planning & Architecture

2145 La Jolla Village Drive, Suite 202, Torrey Pines, CA 91351

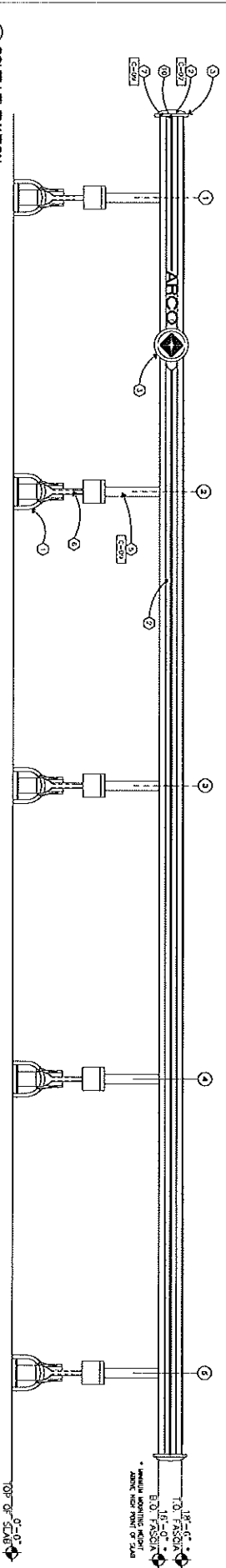
TEL: (909) 455-9999 FAX: (909) 455-9998

ARCO

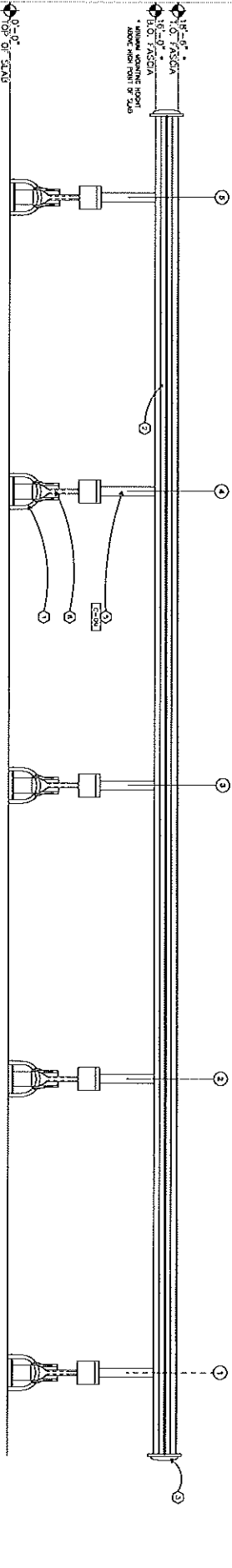
SITE PLAN

PROJECT NO. 19001

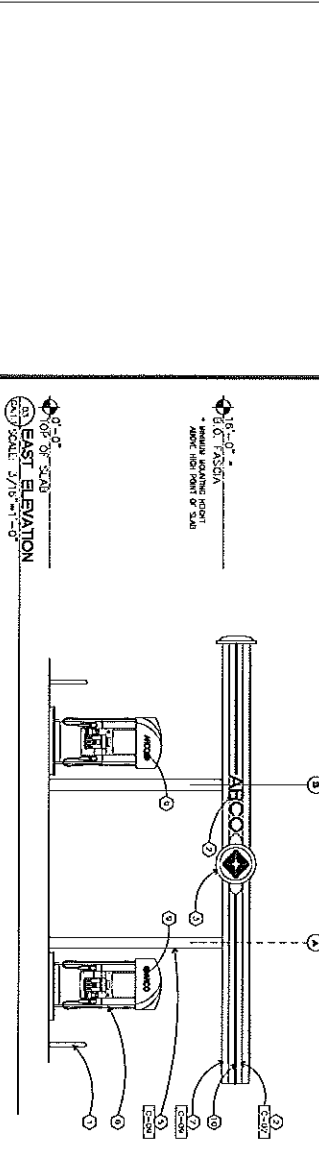
C111



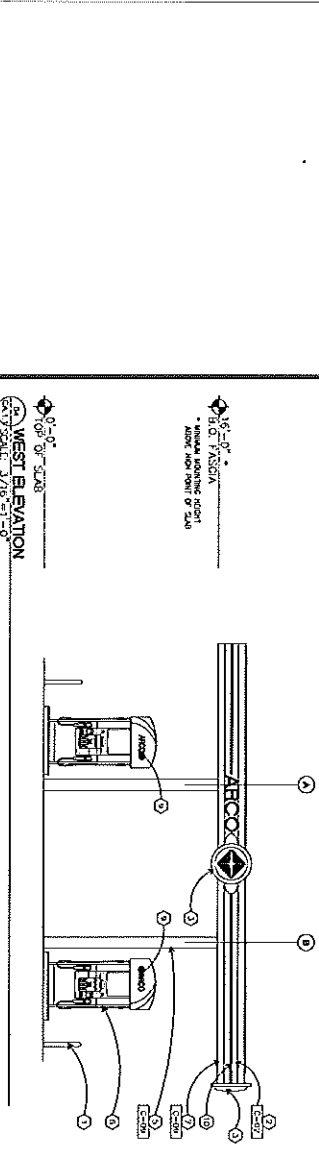
17 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



18 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



19 EAST ELEVATION
SCALE: 3/16" = 1'-0"



20 WEST ELEVATION
SCALE: 3/16" = 1'-0"

KEYED NOTES

- 1) ARCO RAILING
- 2) W/RT SEAL APPLIED TO JOINT PANEL
- 3) ALUMINUM SLIP BEZEL (PER DESIGN TEAM MEMBER LOCATION)
- 4) STEEL BRACKET (PER DESIGN TEAM MEMBER LOCATION)
- 5) STEEL BRACKET, W/RT W/ STRUCTURAL
- 6) TIE-BACKS AND CHAIRS (PER DESIGN)
- 7) ALUMINUM CORNER BRACKET (PER DESIGN)
- 8) 1" x 4" x 1/2" ANGLE W/RT COMPACTOR OR W/RT TIE-OR CHAIRS (PER)
- 9) 1/2" x 4" "L" BRACKET W/RT STAIR TO ARCH
- 10) 1/2" x 4" "L" BRACKET W/RT STAIR TO ARCH

EXTERIOR PAINTS

- CS-01 COLOR: ARCO BLUE
- CS-02 W/RT SEAL - SILVER FINISH
- CS-03 COLOR: WHITE
- CS-04 W/RT SEAL - SILVER FINISH
- CS-05 COLOR: ARCO BLUE
- CS-06 W/RT SEAL - SILVER FINISH

DATE: 10/10/11
 DRAWN BY: J. C. J. / J. C. J.
 CHECKED BY: J. C. J. / J. C. J.
 PROJECT NO.: 11001
 COMMENTS: SEE COMMENTS SHEET FOR REVISIONS
 REVISIONS:
 NO. DATE DESCRIPTION
 1 10/10/11 1.0001



ARCO



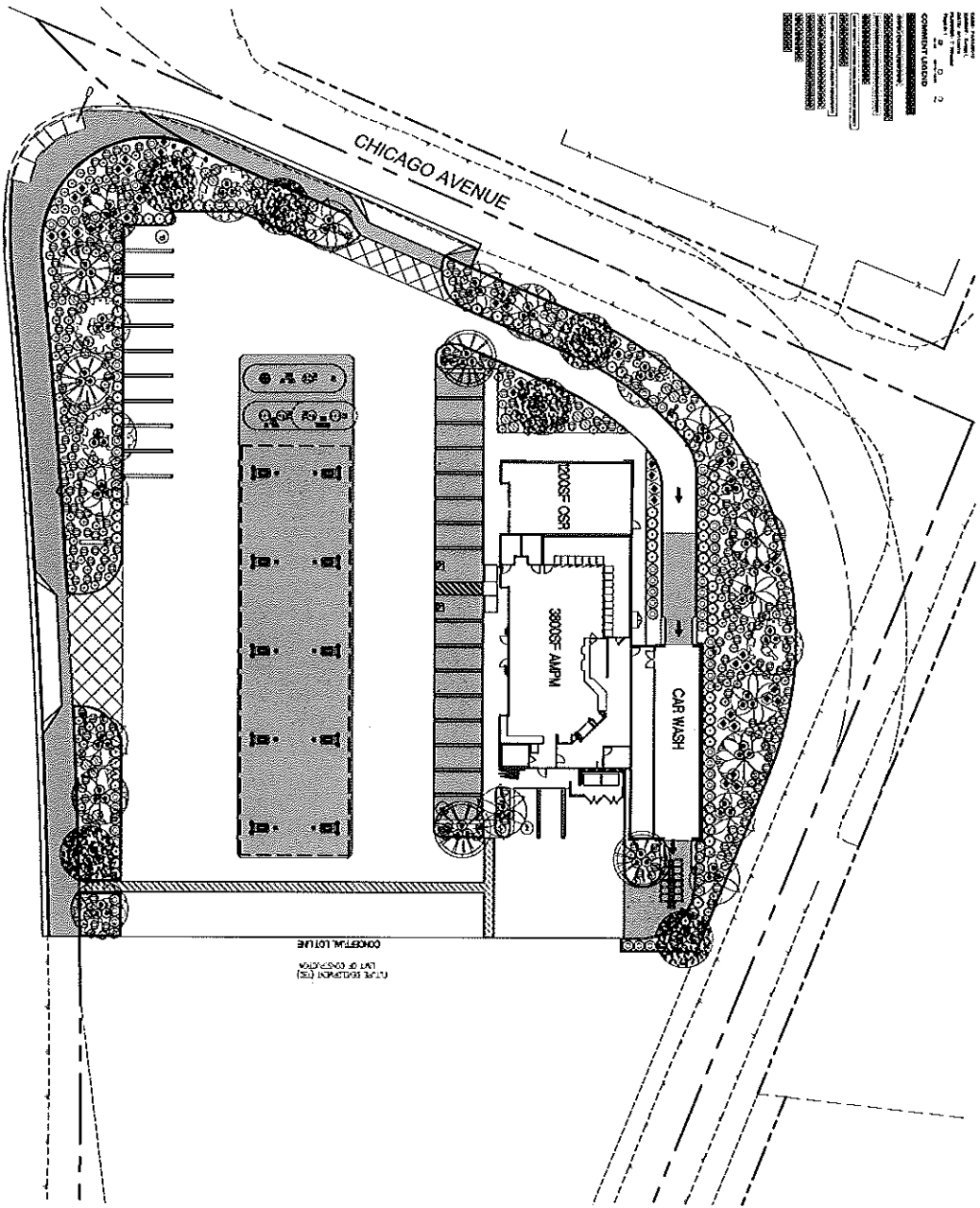
CJC Design, Inc.
 Design Planning Permitting

DATE ISSUED: _____
 SCALE: _____

1485 La Fara Ave. Suite 222, Los Angeles, CA 90047
 (310) 412-1111
 www.cjcdesign.com

CALL

Project Name: _____
 Project No.: _____
 Date: _____
 Scale: _____
 Drawing No.: _____
 Revision: _____
 Author: _____
 Checker: _____
 Approver: _____



CONCEPTUAL LANDSCAPING

VAN BUREN BOULEVARD

PLANTING NOTES

A. PLANTING SHALL BE DONE WITH LOCAL SPECIES, THE MOST BEAUTIFUL AND MOST DURABLE SPECIES AVAILABLE. PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS.

1. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

2. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

3. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

4. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

5. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

6. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

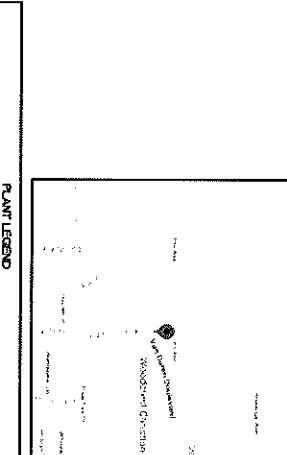
7. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

8. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

9. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

10. PLANTING SHALL BE DONE WITH LOCAL SPECIES.

SYM	SYMBOL	COMMON NAME	HEIGHT	SPACING
1		NOLINA AUREA	2' - 3'	3' x 3'
2		HIBISCUS	2' - 3'	3' x 3'
3		HIBISCUS	2' - 3'	3' x 3'
4		HIBISCUS	2' - 3'	3' x 3'
5		HIBISCUS	2' - 3'	3' x 3'
6		HIBISCUS	2' - 3'	3' x 3'
7		HIBISCUS	2' - 3'	3' x 3'
8		HIBISCUS	2' - 3'	3' x 3'
9		HIBISCUS	2' - 3'	3' x 3'
10		HIBISCUS	2' - 3'	3' x 3'



PLANT LEGEND

SYMBOL **COMMON NAME** **HEIGHT** **SPACING**

1 NOLINA AUREA 2' - 3' 3' x 3'

2 HIBISCUS 2' - 3' 3' x 3'

3 HIBISCUS 2' - 3' 3' x 3'

4 HIBISCUS 2' - 3' 3' x 3'

5 HIBISCUS 2' - 3' 3' x 3'

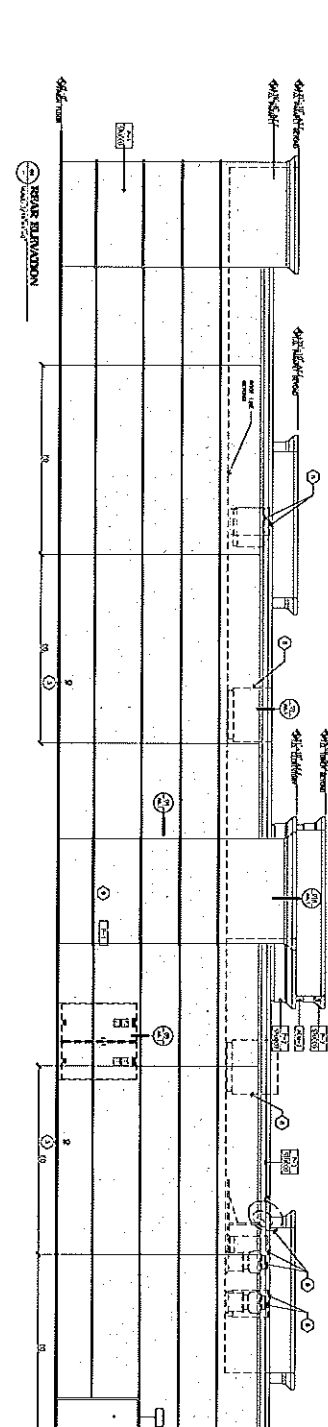
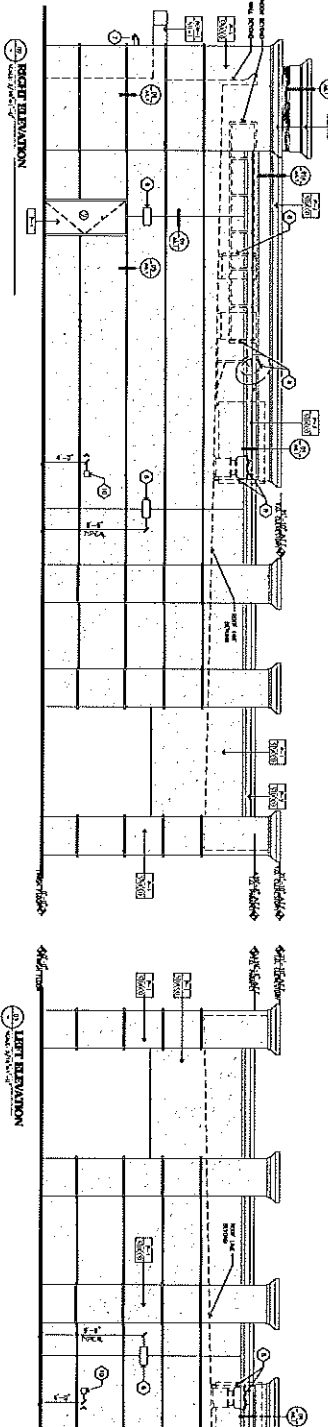
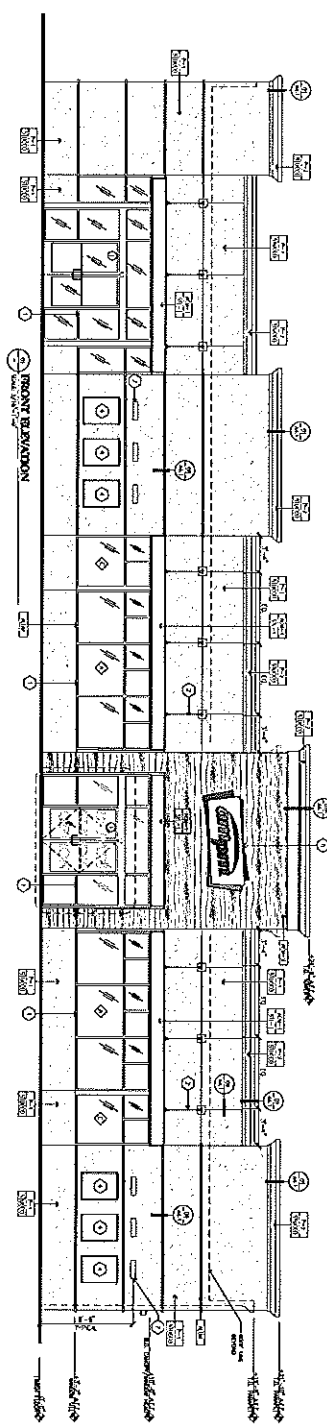
6 HIBISCUS 2' - 3' 3' x 3'

7 HIBISCUS 2' - 3' 3' x 3'

8 HIBISCUS 2' - 3' 3' x 3'

9 HIBISCUS 2' - 3' 3' x 3'

10 HIBISCUS 2' - 3' 3' x 3'



GENERAL NOTES
 1. REFER TO SPECIFICATIONS FOR MATERIALS AND FINISHES.
 2. VERIFY ALL DIMENSIONS AND CONDITIONS WITH THE ARCHITECT.
 3. VERIFY ALL DIMENSIONS AND CONDITIONS WITH THE ARCHITECT.

- KEYED NOTES**
- 1 ALUMINUM CHANNEL AND SHIMMING SYSTEM PER SECTION A-1
 - 2 STEEL ANGLE PER AND CLIP
 - 3 ORIENTED Gypsum
 - 4 WALL SYSTEM
 - 5 INTERIALLY FINISHED Gypsum MOUNTED WALL SYSTEM
 - 6 WALL SYSTEM LID FINISH
 - 7 WALL SYSTEM SPAN LATHING
 - 8 MOUNTED Gypsum BOARD
 - 9 WALL SYSTEM
 - 10 SEE PLAN FOR WALL LOCATION PER TO INDICATION

- COLOR LEGEND**
- 1001 BRANDED BRICK, 8" x 16", WHITE GLAZED
 - 1002 BRANDED BRICK, 8" x 16", TYPICAL, HIGH GLAZED

- MATERIAL LEGEND**
- 1001 1/2" CORNER PLASTER PER WALL SPECIFICATIONS
 - 1002 ALUMINUM CHANNEL SYSTEM, FINISH PER 1001, THINNET
 - 1003 ALUMINUM CHANNEL MATERIAL, AUTOMATIC, THINNET FINISH
 - 1004 CLEAR ANODIZED ALUMINUM
 - 1005 STEEL ANGLE
 - 1006 FINISHED STEEL STUDS PER SECTION A-1
 - 1007 5/8" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1008 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1009 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1010 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1011 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1012 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1013 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
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 - 1099 1/2" DIAMETER STEEL HOOKS PER SECTION A-1
 - 1100 1/2" DIAMETER STEEL HOOKS PER SECTION A-1

PROJECT NO. 19001
 BUILDING ELEVATIONS
 A2.1

CJC Design, Inc.
 Design Planning Permitting
 2145 La Porte Ave. Ste 202, Oak Brook, IL 60110
 (708) 571-1100
 (708) 571-1101
 (708) 571-1102
 (708) 571-1103
 (708) 571-1104
 (708) 571-1105
 (708) 571-1106
 (708) 571-1107
 (708) 571-1108
 (708) 571-1109
 (708) 571-1110



DATE: 10/1/01
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO. 19001