



PLOT PLAN SUBMITTAL FOR
DIANA MIN TU
 40576 VIA HERRADURA,
 MURRIETA, CALIFORNIA 92562



**FOR
 REFERENCE
 ONLY**

PLOT PLAN

1. TITLE BLOCK
2. PRELIMINARY REVIEW - CATEGORY I
3. SITE PLAN
4. EXISTING AND PROPOSED CONSTRUCTION AND UTILITIES
5. EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES
6. EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES
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24. EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES



PROJECT DESCRIPTION

1. TITLE BLOCK

2. PRELIMINARY REVIEW - CATEGORY I

3. SITE PLAN

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24. EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES

PROJECT NOTES

1. ALL EXISTING UTILITIES ARE SHOWN AS APPROXIMATE.
2. ALL EXISTING UTILITIES ARE SHOWN AS APPROXIMATE.
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24. ALL EXISTING UTILITIES ARE SHOWN AS APPROXIMATE.

PROJECT MATRIX

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PRELIMINARY REVIEW - CATEGORY I			
2	SITE PLAN			
3	EXISTING AND PROPOSED CONSTRUCTION AND UTILITIES			
4	EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES			
5	EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES			
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23	EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES			
24	EXISTING ZONING AND LAND USE OF SURROUNDING PROPERTIES			

VICINITY MAP



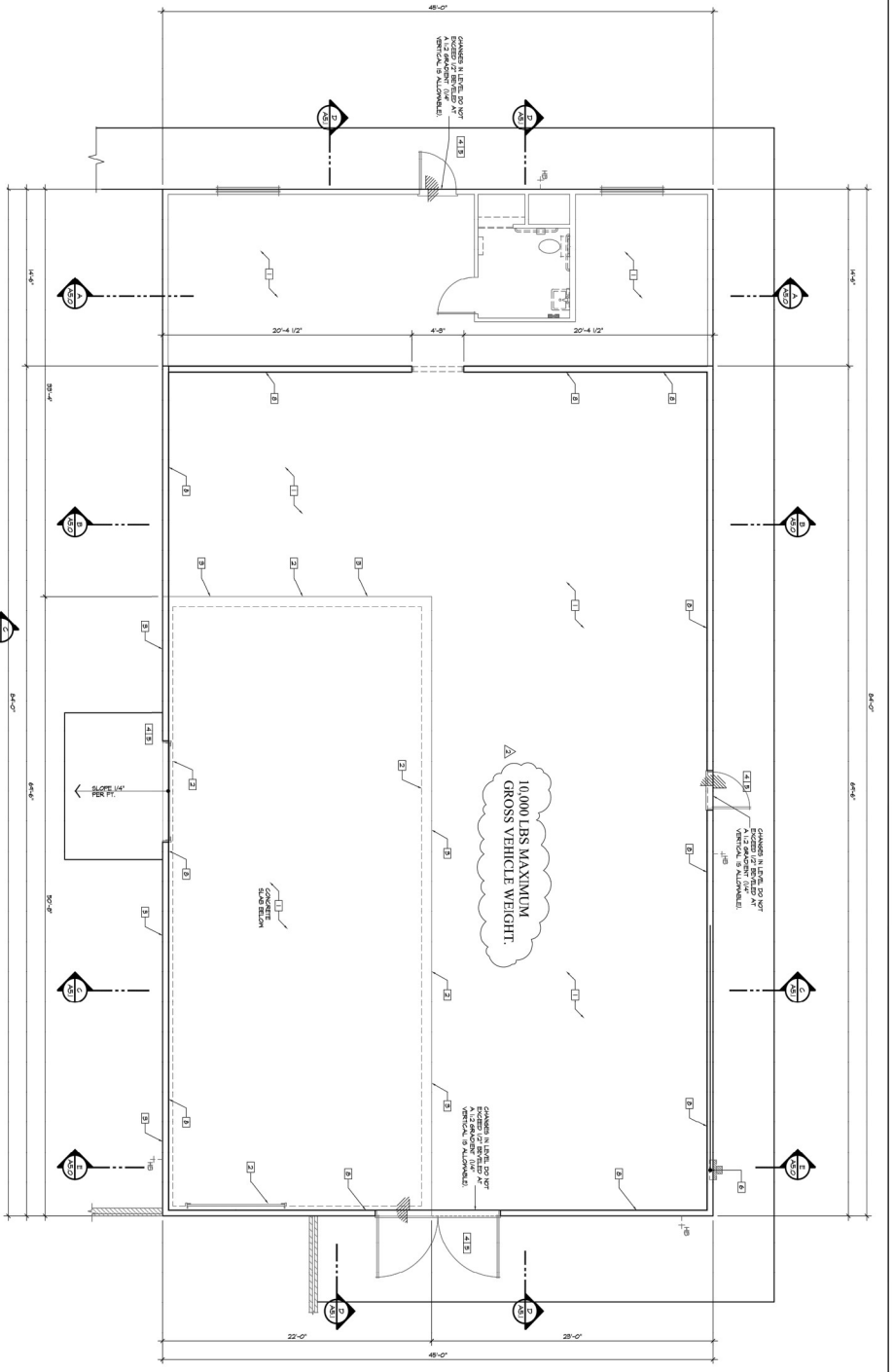
SCALE
 1" = 80'-0"

herron rumanoff
 architects, inc.
 530 St. Johns Place Hemet, California 92543

PLOT PLAN SUBMITTAL FOR
DIANA MIN TU
 40576 VIA HERRADURA,
 MURRIETA, CA 92562

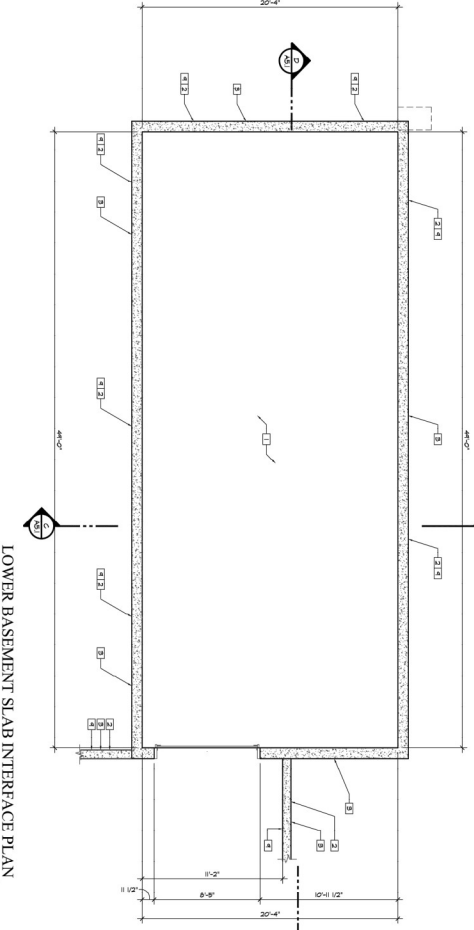
PRE-APPLICATION REVIEW	DATE
08-04-21	
06-28-21	
06-04-21	

PROJECT	ARCHITECT'S SIGNATURE	CONSULTANT	REVISIONS



UPPER SLAB INTERFACE PLAN
SCALE: 1/4" = 1'-0"

FOR
REFERENCE
ONLY



LOWER BASEMENT SLAB INTERFACE PLAN
SCALE: 1/4" = 1'-0"

- SLAB EDGE PLAN NOTES**
1. ALL CONCRETE SHALL BE PLACED IN PLACE FOR ALL SKEDGING AT THE TIME OF CONSTRUCTION.
 2. ALL CONCRETE SHALL BE PLACED IN PLACE FOR ALL SKEDGING AT THE TIME OF CONSTRUCTION.
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<p>herron rumanoff architects, inc.</p>		<p>ZONE CHANGE FOR DIANA MIN TU 40576 VIA HERRADURA, HMURRIETA, CA 92562</p>		<p>PRE-APPLICATION REVIEW 06-28-21</p>	<p>PRE-APPLICATION REVIEW 06-18-21</p>
<p>sheet no. A-1.0</p>		<p>job no. 1038-05621</p>		<p>issue purpose</p>	<p>date</p>
<p>job no. 1038-05621</p>		<p>job no. 1038-05621</p>		<p>architect's signature</p>	<p>consultant</p>
<p>job no. 1038-05621</p>		<p>job no. 1038-05621</p>		<p>revisions</p>	<p>revisions</p>

BUILDING MATERIALS & EQUIPMENT LIST.

1. EXISTING EXTERIOR WALLS SHALL BE NON-COMBUSTIBLE.
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10. EXISTING EXTERIOR WALLS SHALL BE NON-COMBUSTIBLE.

HIGH FIRE AREA CBC 2016 SECT 7A.

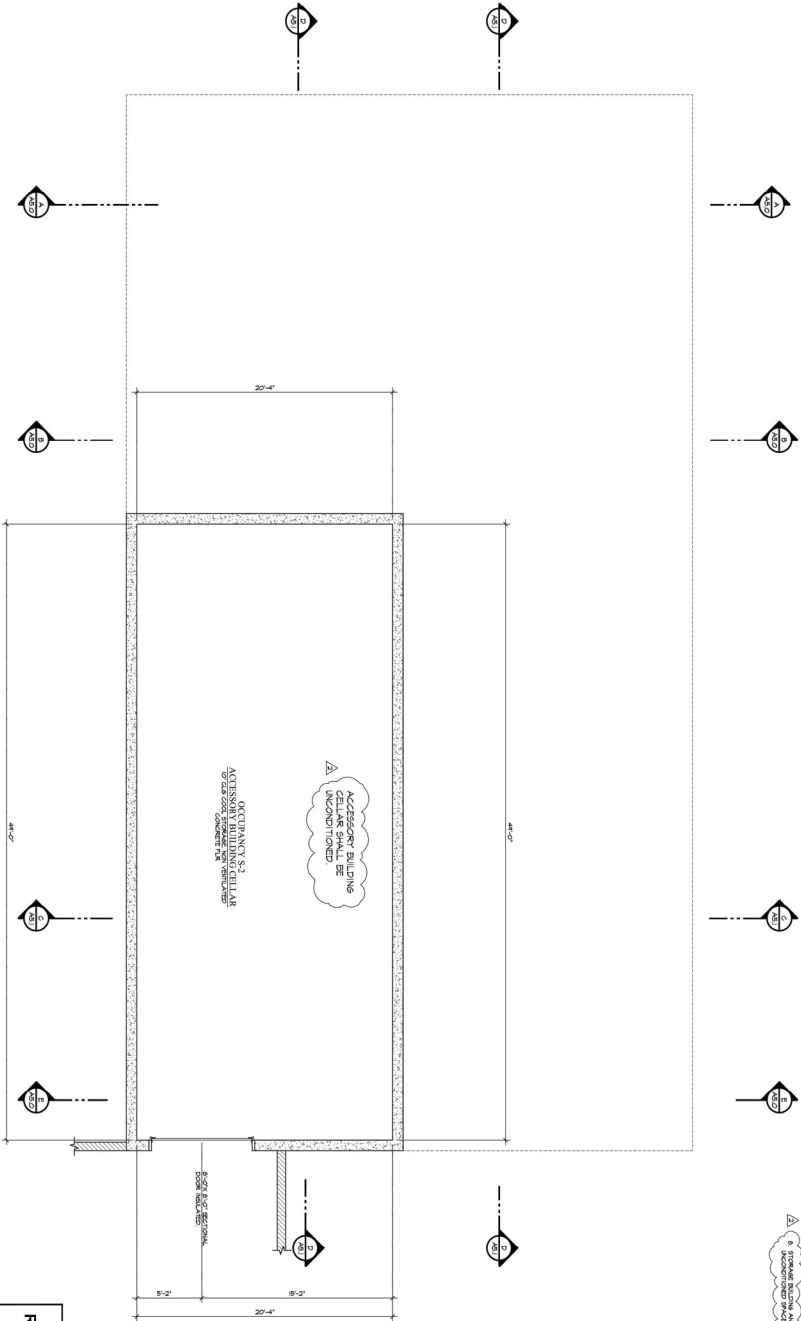
1. ROOMS MATERIAL SHALL BE NON-COMBUSTIBLE.
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FLOOR PLAN LEGEND

1. EXISTING EXTERIOR WALLS SHALL BE NON-COMBUSTIBLE.
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10. EXISTING EXTERIOR WALLS SHALL BE NON-COMBUSTIBLE.



FOR REFERENCE ONLY

BASELINE AREA
48'-0" x 27'-4" = 1315.52 SQ. FT.
CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"



<p>herron rumanoff architects, inc.</p>		<p>ZONE CHANGE FOR DIANA MIN TU 40576 VIA HERRADURA, HMURRIETA, CA 92562</p>		<p>PRE-APPLICATION REVIEW 06-28-21</p>	<p>PRE-APPLICATION REVIEW 06-28-21</p>
<p>sheet no. A-2.0</p>	<p>job no. 1058-05627</p>	<p>DATE: 06-28-21</p>	<p>ISSUE PURPOSE: REVISION</p>	<p>architect's signature</p>	<p>consultant</p>
<p>1058-05627</p>		<p>1058-05627</p>		<p>951 652-4431</p>	

BUILDING MATERIALS & EQUIPMENT LIST.

1. FINISHES AND EQUIPMENT SHALL BE AS SHOWN, SPECIFIED, AND/OR NOTED.
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HIGH FIRE AREA CBC 2016 SECT 7A.

1. HIGH FIRE AREA SHALL BE IN CLASS IV.
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FLOOR PLAN LEGEND

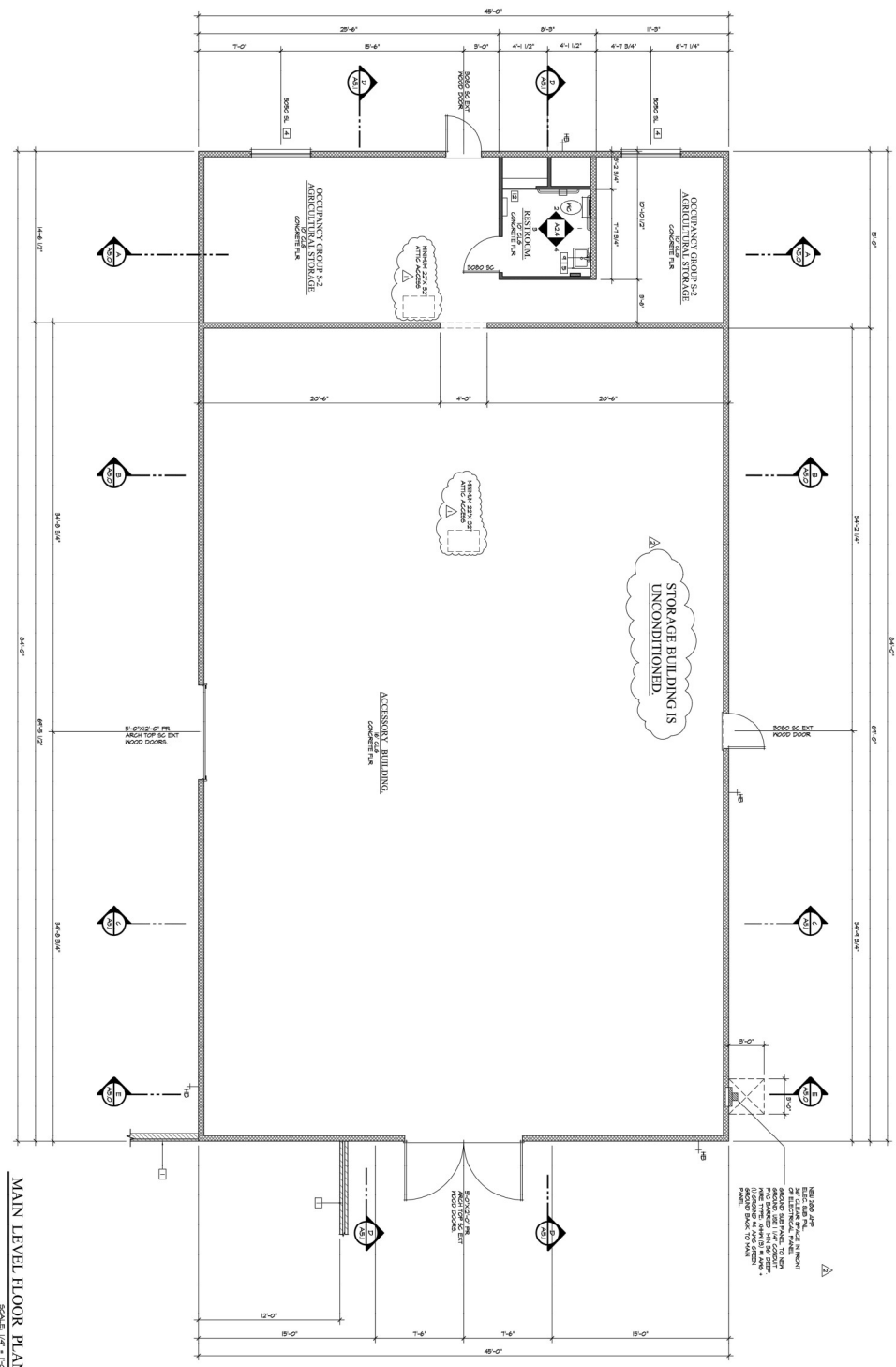
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WALL KEY

- 1. FINISHES AND EQUIPMENT SHALL BE AS SHOWN, SPECIFIED, AND/OR NOTED.
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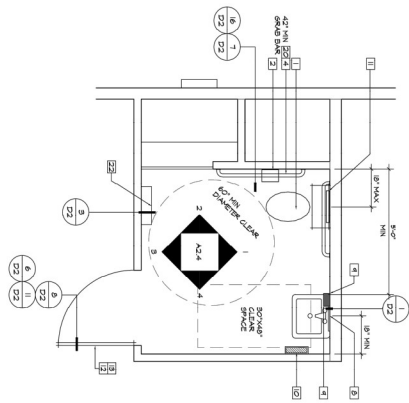
MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY



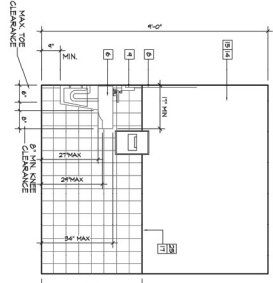
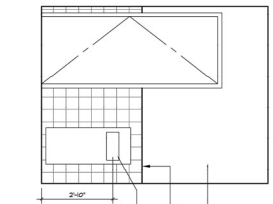
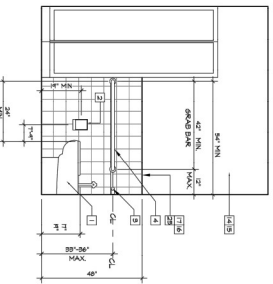
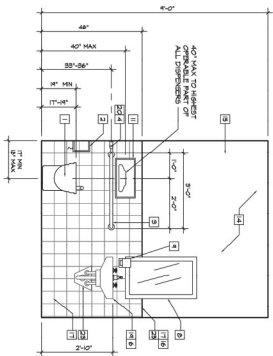
ENLARGED PLAN NOTES & INTERIOR ELEVATION NOTES

- REFERENCE NOTES**
1. MAX. SIZE SET - 1/4" = 1' - PLACE ACTIVATION ON VIEW
 2. TOILET PARTITION CONTAINS 1/2" POLYURETHANE INSULATION - FULL HEIGHT
 3. TOILET PARTITION - 1/2" POLYURETHANE INSULATION - FULL HEIGHT
 4. TOILET PARTITION - 1/2" POLYURETHANE INSULATION - FULL HEIGHT
 5. TOILET PARTITION - 1/2" POLYURETHANE INSULATION - FULL HEIGHT
 6. FULL HEIGHT ACTIVATION WITH 1/2" AIR INSULATION
 7. MAX. TOILET PARTITION - 1/2" POLYURETHANE INSULATION - FULL HEIGHT
 8. TOILET PARTITION - 1/2" POLYURETHANE INSULATION - FULL HEIGHT
 9. TOILET PARTITION - 1/2" POLYURETHANE INSULATION - FULL HEIGHT
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ADA RESTROOM FLOOR PLAN
SCALE: 1/2" = 1'-0"

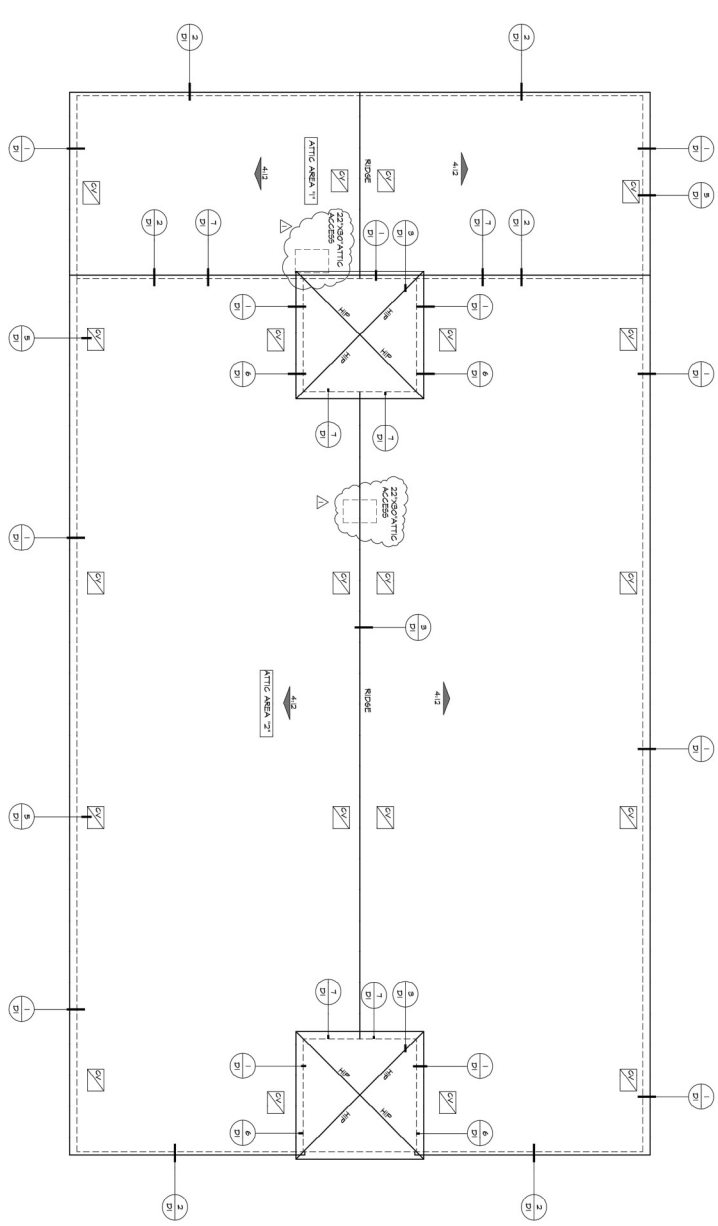
UNISEX RESTROOM



FOR REFERENCE ONLY

ADA RESTROOM INTERIOR ELEVATIONS FLOOR PLAN
SCALE: 1/2" = 1'-0"





ROOF PLAN
SCALE: 1/4" = 1'-0"

FOR
REFERENCE
ONLY



- ROOF PLAN NOTES**
1. GENERAL CONTRACTOR SHALL VERIFY THE SET POINT FOR THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.
 2. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.
 3. ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.
 4. REFER TO STRUCTURAL ROOF PLAN FOR REVISIONS.
 5. SEE SECTION 05120 FOR ROOF CURB VENTILATION.
 6. REFER TO SECTION 05120 FOR ROOF CURB VENTILATION.
 7. ALL ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.
 8. REFER TO SECTION 05120 FOR ROOF CURB VENTILATION.
 9. REFER TO SECTION 05120 FOR ROOF CURB VENTILATION.
 10. REFER TO SECTION 05120 FOR ROOF CURB VENTILATION.
 11. REFER TO SECTION 05120 FOR ROOF CURB VENTILATION.
 12. REFER TO SECTION 05120 FOR ROOF CURB VENTILATION.

2206 GOLF ATTIC VENTILATION REQUIREMENTS

2206 GOLF ATTIC VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.

2206B GOLF ATTIC VENTILATION REQUIREMENTS

2206B GOLF ATTIC VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.

ROOF VENT CALCULATIONS

ATTIC VENTILATION AREA "1"

ATTIC AREA REQUIRING VENTILATION = 661 SQ FT / 1000 = 661 SQ FT REQUIRING VENTILATION

100% VENTILATION REQUIRED FOR AREA "1" = 661 SQ FT

100% VENTILATION REQUIRED FOR AREA "1" = 661 SQ FT

ATTIC VENTILATION AREA "2"

ATTIC AREA REQUIRING VENTILATION = 708 SQ FT / 1000 = 708 SQ FT REQUIRING VENTILATION

100% VENTILATION REQUIRED FOR AREA "2" = 708 SQ FT

100% VENTILATION REQUIRED FOR AREA "2" = 708 SQ FT

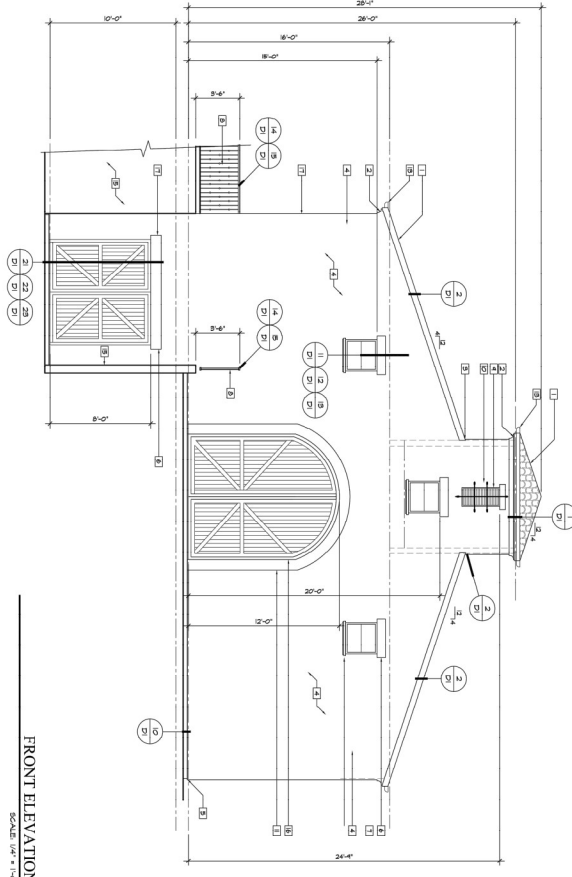
FIRE AND EMBER RESISTANT ROOF VENT LEGEND

1. ROOF VENT SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.

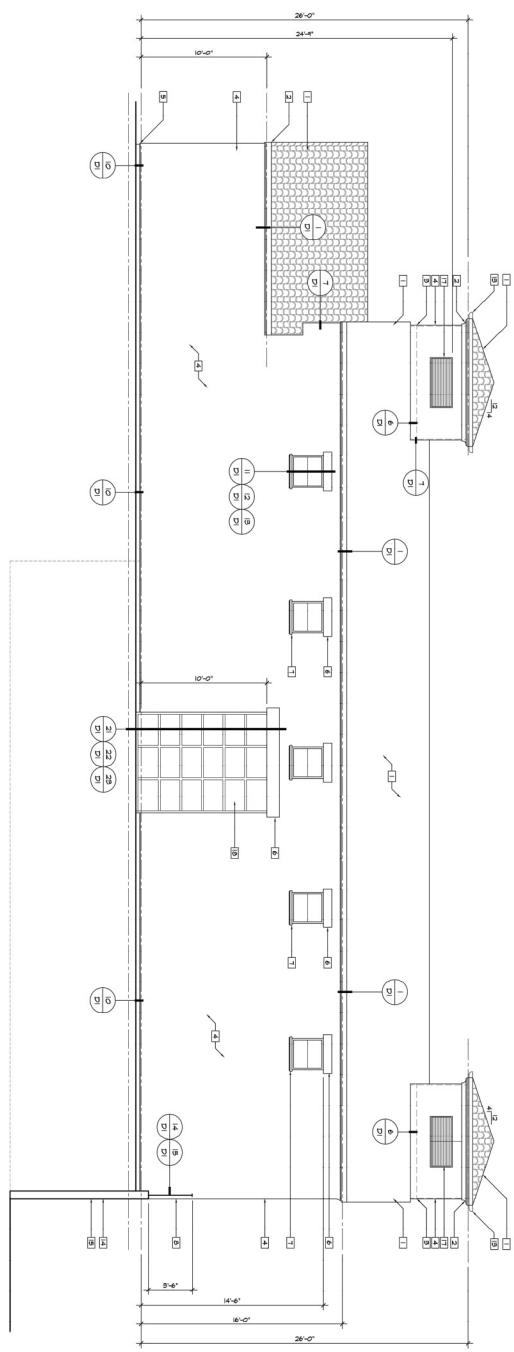
2. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.

HIGH FIRE AREA CBC 2016 SECT 7A.

1. ROOFING MATERIAL SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.
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5. ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.
6. ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION. THE ROOF CURB VENTILATION SHALL BE 100% OF THE DESIGN ROOF CURB VENTILATION.



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FOR
REFERENCE
ONLY



ELEVATION LEGEND

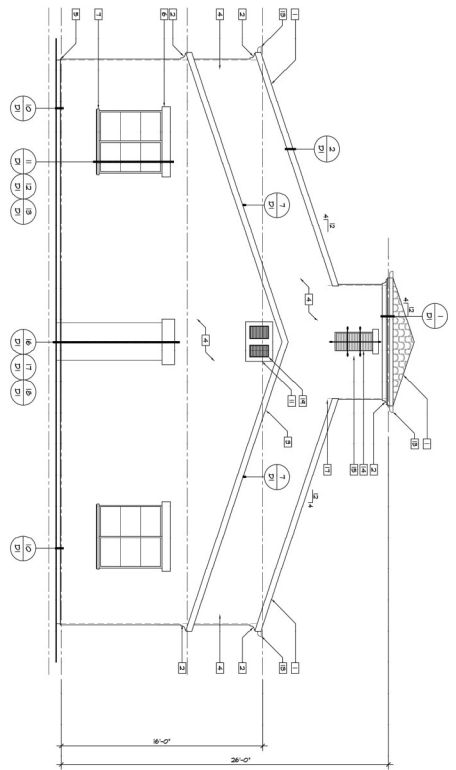
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ELEVATION NOTES

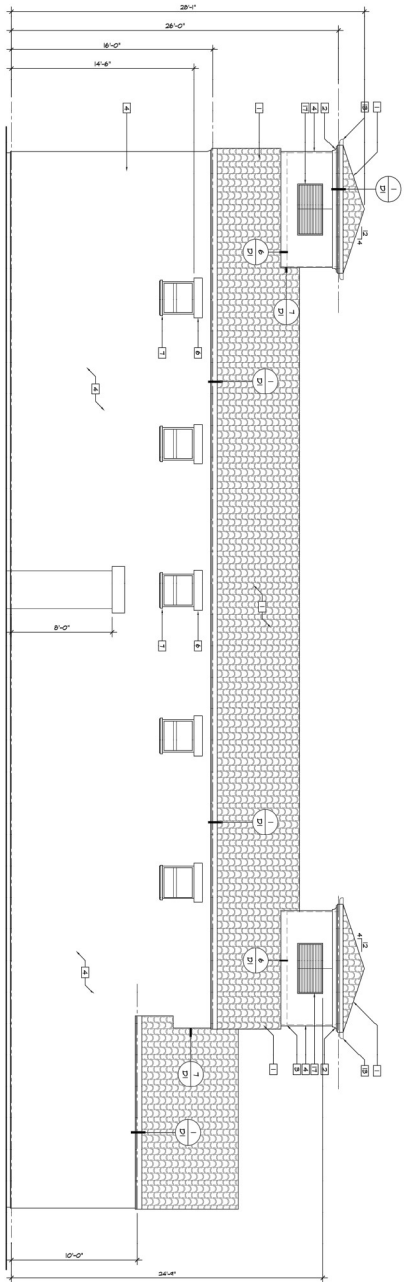
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HIGH FIRE AREA CBC 2016 SECT 7A.

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14. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN.
15. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN.



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

HIGH FIRE AREA CBC 2016 SECT 7A.

1. ROOFING MATERIAL SHALL BE NON-CLASS 'A'
2. ROOFING SHALL BE AT LEAST 1/2" THICK AND SHALL BE NON-COMBUSTIBLE
3. ROOFING SHALL BE AT LEAST 1/2" THICK AND SHALL BE NON-COMBUSTIBLE
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ELEVATION LEGEND

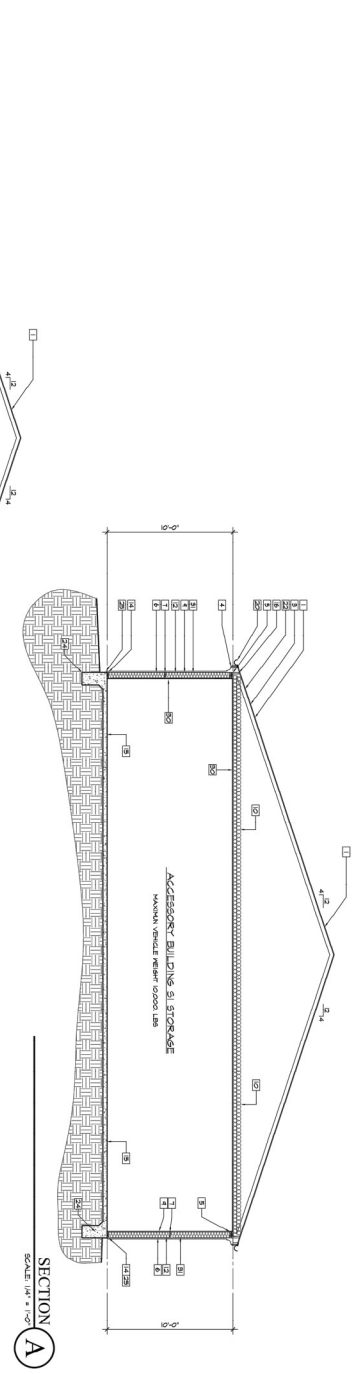
- 1. ROOFING MATERIAL SHALL BE NON-CLASS 'A'
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- 20. ROOFING SHALL BE AT LEAST 1/2" THICK AND SHALL BE NON-COMBUSTIBLE

ELEVATION NOTES

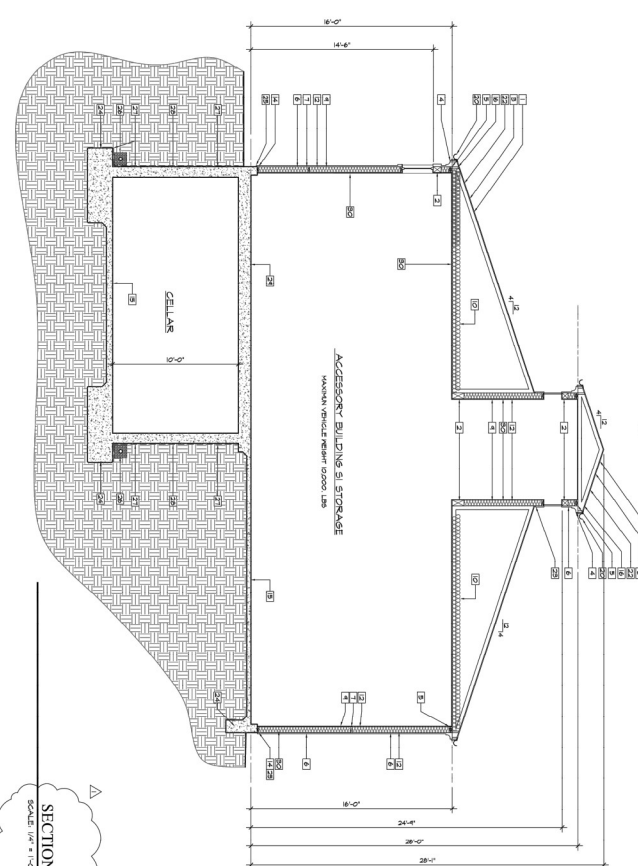
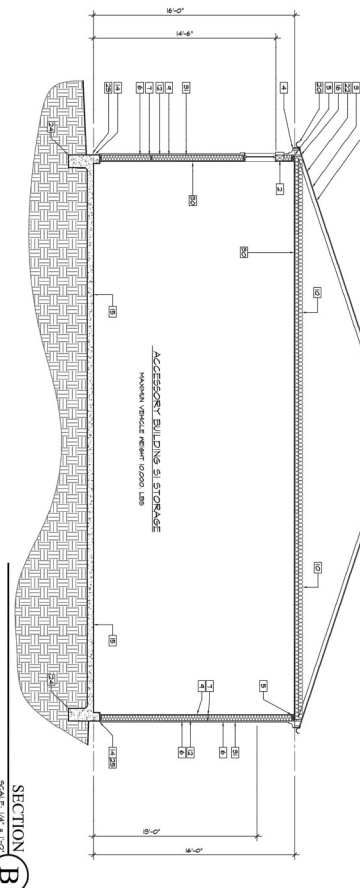
1. ROOFING SHALL BE AT LEAST 1/2" THICK AND SHALL BE NON-COMBUSTIBLE
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20. ROOFING SHALL BE AT LEAST 1/2" THICK AND SHALL BE NON-COMBUSTIBLE

FOR
REFERENCE
ONLY





- SECTION LEGEND**
1. REBARRED MASONRY BRICKS (HORIZONTAL) PER PLAN, PER SPEC.
 2. REBARRED MASONRY BRICKS (VERTICAL) PER PLAN, PER SPEC.
 3. REBARRED MASONRY BRICKS (VERTICAL) PER PLAN, PER SPEC.
 4. BRICKS OVER SHAPED TOYOTA (SEE ELEVATION)
 5. BRICKS OVER SHAPED TOYOTA (SEE ELEVATION)
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 100. BRICKS OVER SHAPED TOYOTA (SEE ELEVATION)



SECTION E
SCALE: 1/4" = 1'-0"

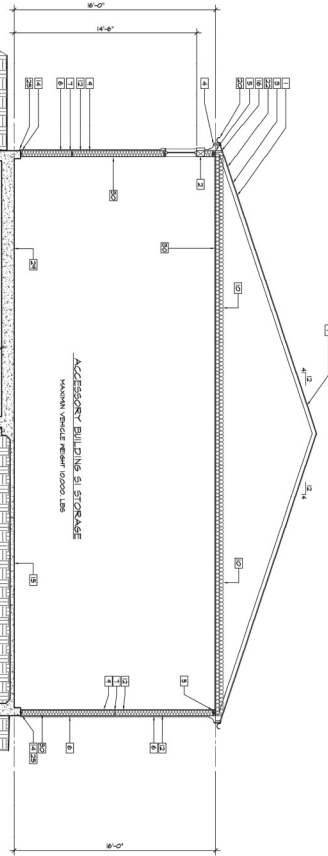
SECTION B
SCALE: 1/4" = 1'-0"

SECTION A
SCALE: 1/4" = 1'-0"

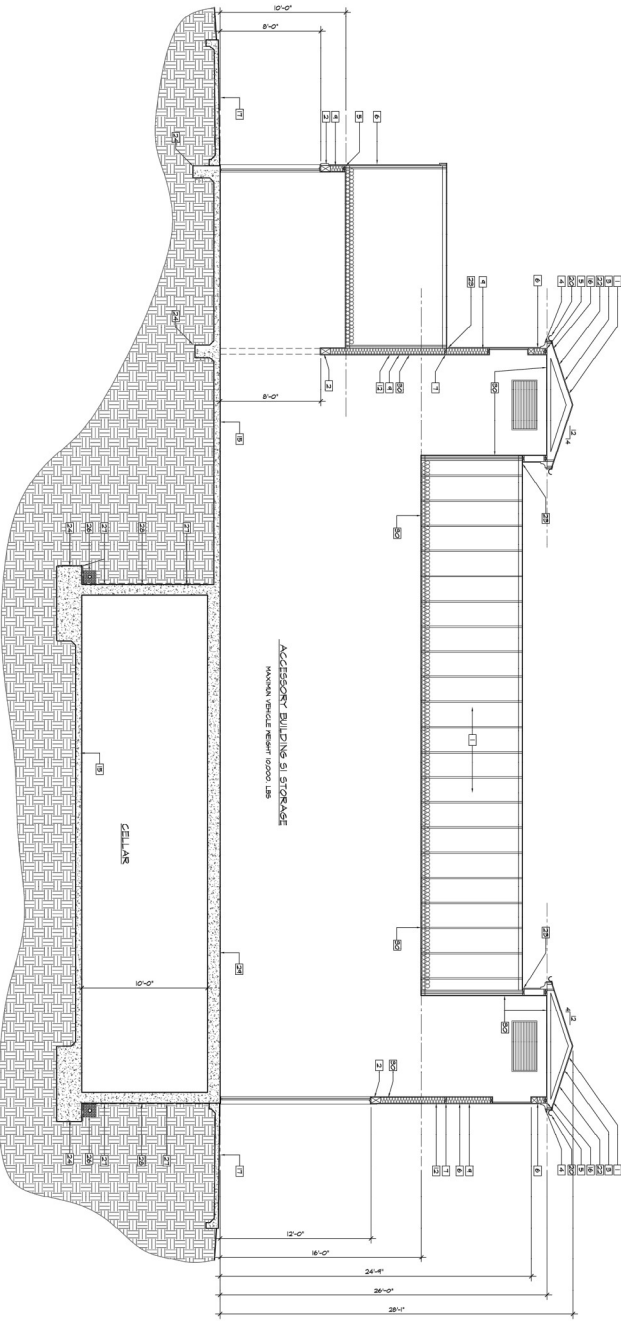
FOR REFERENCE ONLY



herron rumanoff architects, inc. 530 St. Johns Place, Hemet, California 92543	ZONE CHANGE FOR DIANA MIN TU 40576 VIA HERRADURA, HMURRIETA, CA 92562	PRE-APPLICATION REVIEW 06-28-21	PRE-APPLICATION REVIEW 06-18-21
	PROJECT	ARCHITECT'S SIGNATURE	CONSULTANT



SECTION C
SCALE: 1/4" = 1'-0"

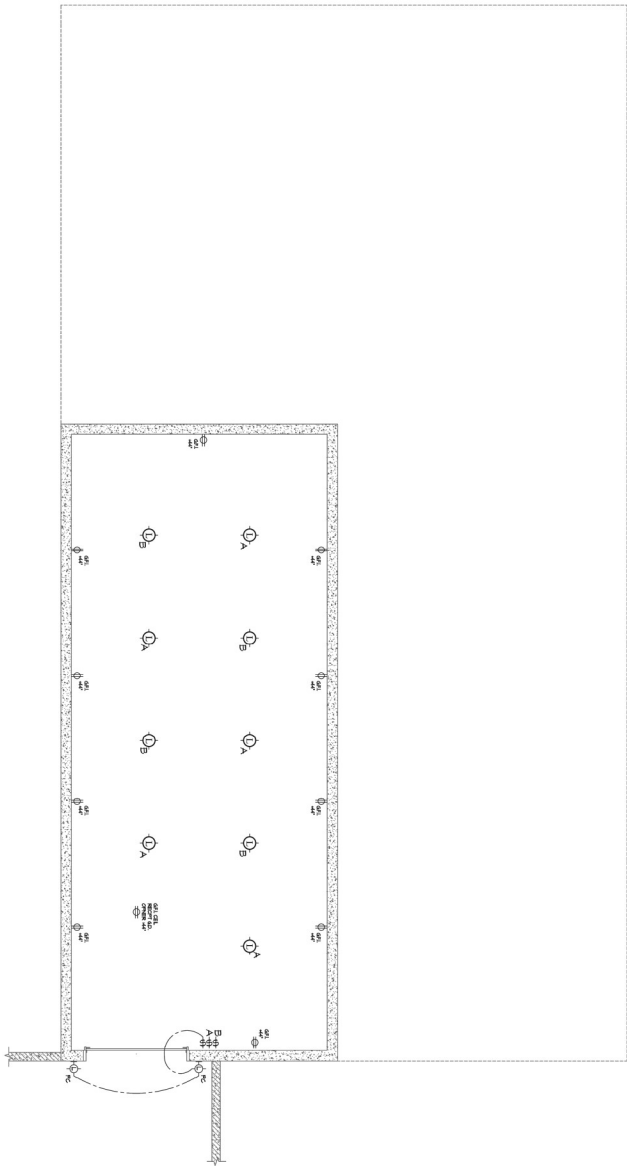


SECTION D
SCALE: 1/4" = 1'-0"

FOR
REFERENCE
ONLY



- SECTION LEGEND**
- 1. 1/2" CONCRETE SLAB ON GRADE
 - 2. 4" POLYSTYRENE INSULATION
 - 3. 1/2" CONCRETE SLAB ON GRADE
 - 4. 4" POLYSTYRENE INSULATION
 - 5. 1/2" CONCRETE SLAB ON GRADE
 - 6. 4" POLYSTYRENE INSULATION
 - 7. 1/2" CONCRETE SLAB ON GRADE
 - 8. 4" POLYSTYRENE INSULATION
 - 9. 1/2" CONCRETE SLAB ON GRADE
 - 10. 4" POLYSTYRENE INSULATION
 - 11. 1/2" CONCRETE SLAB ON GRADE
 - 12. 4" POLYSTYRENE INSULATION
 - 13. 1/2" CONCRETE SLAB ON GRADE
 - 14. 4" POLYSTYRENE INSULATION
 - 15. 1/2" CONCRETE SLAB ON GRADE
 - 16. 4" POLYSTYRENE INSULATION
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 - 19. 1/2" CONCRETE SLAB ON GRADE
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 - 21. 1/2" CONCRETE SLAB ON GRADE
 - 22. 4" POLYSTYRENE INSULATION
 - 23. 1/2" CONCRETE SLAB ON GRADE
 - 24. 4" POLYSTYRENE INSULATION
 - 25. 1/2" CONCRETE SLAB ON GRADE
 - 26. 4" POLYSTYRENE INSULATION
 - 27. 1/2" CONCRETE SLAB ON GRADE
 - 28. 4" POLYSTYRENE INSULATION
 - 29. 1/2" CONCRETE SLAB ON GRADE
 - 30. 4" POLYSTYRENE INSULATION
 - 31. 1/2" CONCRETE SLAB ON GRADE
 - 32. 4" POLYSTYRENE INSULATION
 - 33. 1/2" CONCRETE SLAB ON GRADE
 - 34. 4" POLYSTYRENE INSULATION



CELLAR LEVEL UTILITY PLAN

SCALE: 1/8" = 1'-0"

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE CODES.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE CODES.
3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE CODES.
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25. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE CODES.
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27. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE CODES.
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UTILITY SYMBOLS

	1/2" EMT		1/2" EMT WITH CONDUIT
	1/2" EMT WITH CONDUIT		1/2" EMT WITH CONDUIT AND SLEEVE
	1/2" EMT WITH CONDUIT AND SLEEVE		1/2" EMT WITH CONDUIT AND SLEEVE AND SLEEVE
	1/2" EMT WITH CONDUIT AND SLEEVE AND SLEEVE		1/2" EMT WITH CONDUIT AND SLEEVE AND SLEEVE AND SLEEVE
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FOR REFERENCE ONLY

DIGALERT
 DIAL TOLL FREE
 1-800-222-2860
 BEFORE YOU DIG

ENGINEER'S NOTE:
 THE ABOVE ENGINEERING PLANS, SPECIFICATIONS, AND NOTES ARE THE PROPERTY OF MAGESTIC DESIGN 3D. THESE PLANS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF MAGESTIC DESIGN 3D IS STRICTLY PROHIBITED. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR OTHER SERVICES NOT SPECIFICALLY IDENTIFIED HEREIN.

OWNER:
 DIANA TU
 1116 VA WAREL
 PALOS VERDES ESTATES,
 PALMDALE, CA 91365
 (951)711-1539

ARCHITECT:
 AMY PETERMAN
 40576 VIA HERA/DURA
 AGRESTIA CA 92582
 AMPTERMAN@GMAIL.COM
 (951)711-1539

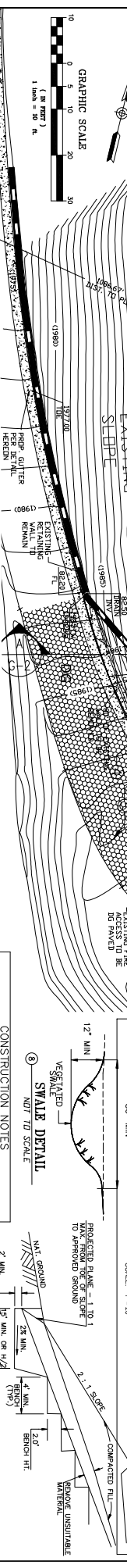
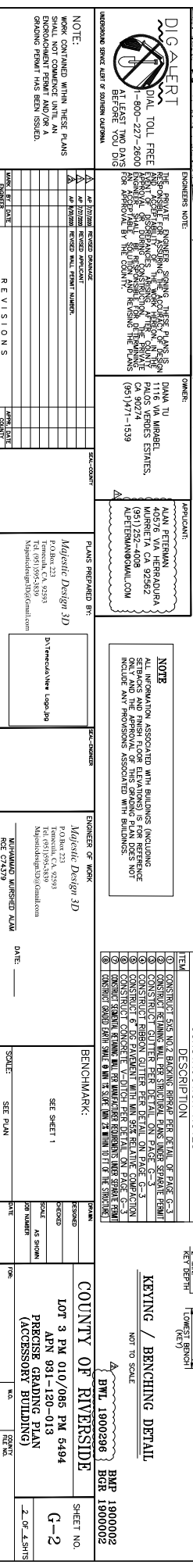
PLANS PREPARED BY:
 MAGESTIC DESIGN 3D
 P.O. Box 225
 TONAWANDA, CA 92583
 TEL: (951)955-8489
 MAGESTICDESIGN3D@GMAIL.COM

ENGINEER OF WORK:
 MAGESTIC DESIGN 3D
 P.O. Box 225
 TONAWANDA, CA 92583
 TEL: (951)955-8489
 MAGESTICDESIGN3D@GMAIL.COM

REVISIONS:

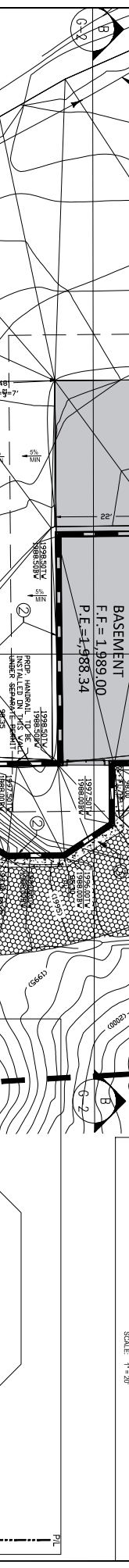
NO.	DATE	DESCRIPTION

NOTE:
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENVIRONMENTAL PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.



CONSTRUCTION NOTES:

- CONSTRUCT 8" MIN 2" BARRING REBAR PER DETAIL OF PAGE G-3
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING PER DETAIL ON PAGE G-3
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING PER DETAIL ON PAGE G-3
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING PER DETAIL ON PAGE G-3
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING PER DETAIL ON PAGE G-3
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING PER DETAIL ON PAGE G-3
- CONSTRUCT 4" MIN CONCRETE FLOOR ON PAVED EXISTING FOOTING PER DETAIL ON PAGE G-3



PRE-GRADING/PRE-CONSTRUCTION NOTE:

A PRE-GRADING / PRE-CONSTRUCTION MEETING AND SITE INSPECTION SHALL BE ARRANGED FOR BY THE SITE DEVELOPER PRIOR TO COMMENCING GRADING OPERATIONS THOSE PARTIES REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING SHALL INCLUDE BUT NOT BE LIMITED TO THE GRADING CONTRACTOR, THE DEPARTMENT OF BUILDING UTILITIES CONTRACTOR REPRESENTING THE DEPARTMENT OF BUILDING AND SAFETY SHALL BE THE GRADING PLAN CHECKER AND/OR GRADING ENGINEER. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR DISCUSSING THE VARIOUS ASPECTS AND RESPONSIBILITIES OF THE GRADING PROJECT AND TO PROVIDE AN APPROXIMATE TIMETABLE FOR THE COMPLETION OF THE ROUGH GRADING. ARRANGE FOR A DISTRICT OFFICE RESPONSIBLE FOR PROVIDING TOUR GRADING AND BUILDING INSPECTIONS. CALL COUNTY DISPATCH AT (951)955-1800 TO SETUP PRE-CONSTRUCTION MEETING.

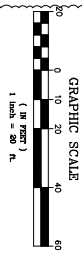
COUNTY OF RIVERSIDE
 LOT 3 PM 010/085 PM 6494
 PARCELS GRADING PLAN
 (ACCESSORY BUILDING)

SHEET NO. G-2

DATE: APR 01, 2013

SCALE: 2" = 4.50'

BENCHMARK: SEE SHEET 1



NOTE
 NEW 24' WIDE OR PAVED FIRE ACCESS ROAD PER COUNTY OF RIVERSIDE AND COUNTY OF SAN DIEGO SPECIFICATIONS ADDED TO SNO

NOTE
 OPERATOR, ASSOCIATED WITH SURFACE FINISHING, STAGES AND FINISH FLOOR ELEVATIONS) IS FOR REFERENCE ONLY AND THE APPROVAL OF THIS GRADING PLAN DOES NOT INCLUDE ANY PROVISION ASSOCIATED WITH BUILDINGS.

ITEM	DESCRIPTION
1	CONSTRUCT 24' WIDE OR PAVED FIRE ACCESS ROAD PER COUNTY OF RIVERSIDE AND COUNTY OF SAN DIEGO SPECIFICATIONS ADDED TO SNO
2	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
3	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
4	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
5	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
6	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
7	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
8	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3
9	CONSTRUCT 3'x3'x24' AIR PLACED CONCRETE V-DITCH PER DETAIL G-3

DIG ALERT
 DIAL TOLL FREE
 1-800-227-2860
 AT LEAST 48 HOURS BEFORE YOU DIG
 CALIFORNIA DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS

ENGINEER'S NOTE:
 THE ABOVE ENGINEERING DESIGN THESE PLANS IS BASED ON THE INFORMATION PROVIDED IN THE FIELD AND IN THE OFFICE. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS REVIEWED THE PLANS FOR CONFORMANCE WITH THE COUNTY OF RIVERSIDE AND COUNTY OF SAN DIEGO SPECIFICATIONS ADDED TO SNO.

OWNER: DANIA TU
 1116 VIA HERRADURA
 PACOIMA, CA 91355
 (951)711-1539

APPLICANT: AMY PETERMAN
 40576 VIA HERRADURA
 HUNTERS CREEK, CA 92582
 APETERMAN@GMAIL.COM

PLANS PREPARED BY: Mjestic Design 3D
 P.O. Box 225
 Temecula, CA 92593
 MjesticDesign3D@gmail.com

DATE: 12/20/23

ENGINEER OF WORK: Mjestic Design 3D
 P.O. Box 225
 Temecula, CA 92593
 MjesticDesign3D@gmail.com

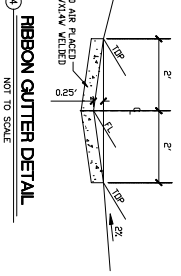
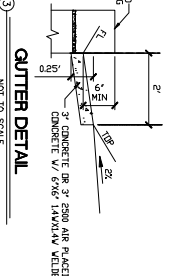
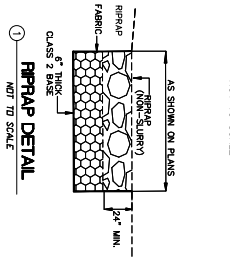
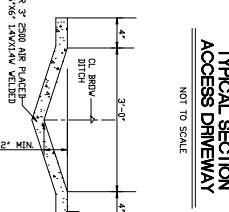
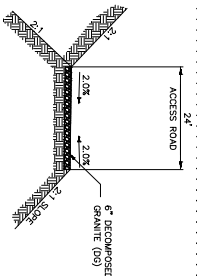
BENCHMARK: SEE SHEET 1

COUNTY OF RIVERSIDE
 LOT 3, PM 010/085, PM 5494
 APR 93-120-013
 PRRIGER GRADING PLAN
 (NEW FIRE ACCESS ROAD)

SCALE: 1" = 4.5818'

SHEET NO: G-2

PROJECT: BMP 19000002



NOTE:
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENGINEERING PERMIT HAS BEEN OBTAINED FROM THE COUNTY OF RIVERSIDE AND COUNTY OF SAN DIEGO.

DATE	REVISIONS

ENGINEER OF WORK: Mjestic Design 3D
 P.O. Box 225
 Temecula, CA 92593
 MjesticDesign3D@gmail.com

DATE: 12/20/23

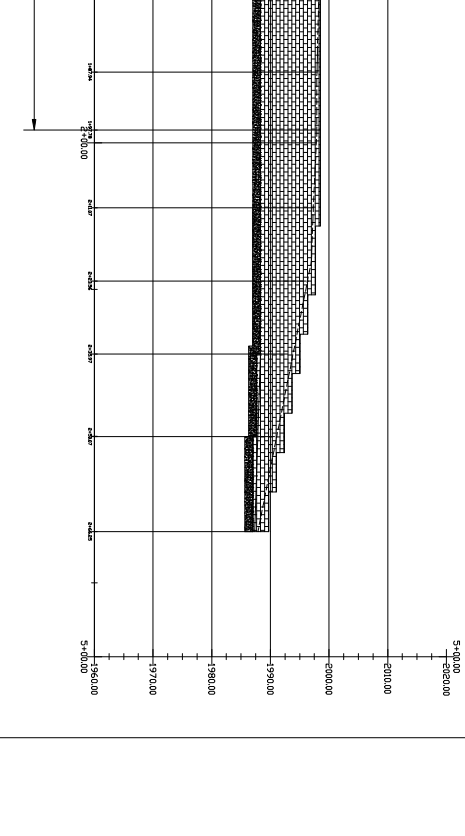
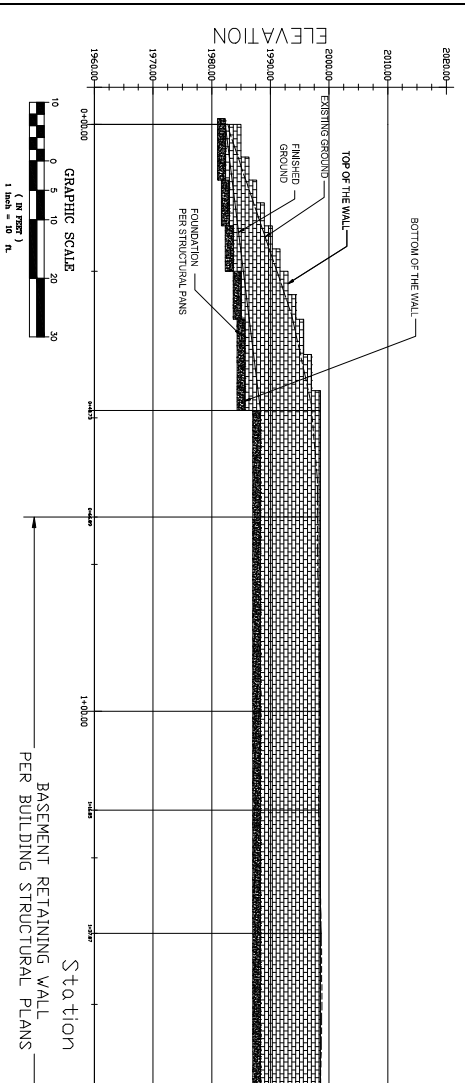
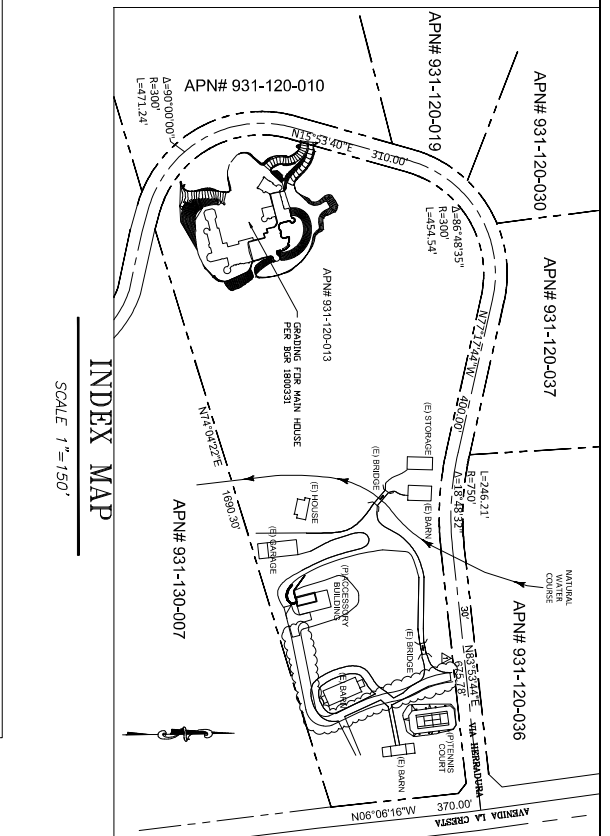
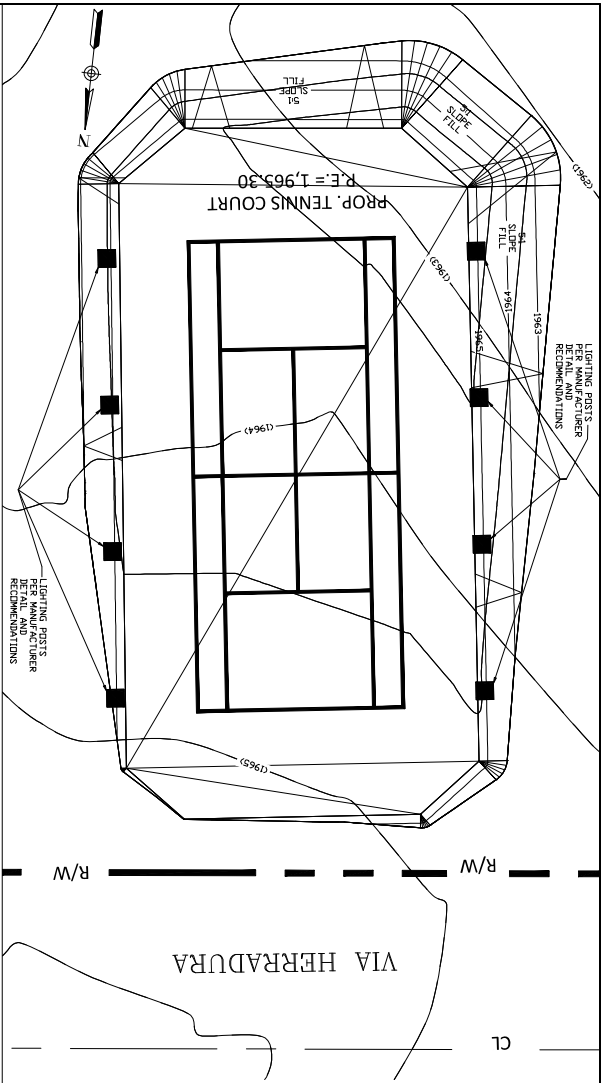
BENCHMARK: SEE SHEET 1

COUNTY OF RIVERSIDE
 LOT 3, PM 010/085, PM 5494
 APR 93-120-013
 PRRIGER GRADING PLAN
 (NEW FIRE ACCESS ROAD)

SCALE: 1" = 4.5818'

SHEET NO: G-2

PROJECT: BMP 19000002



DIGALERT
 24 HOUR DIAL TOLL FREE
 1-800-222-2660
 AT LEAST 48 HOURS BEFORE YOU DIG
 AVOIDANCE OF DAMAGE TO UTILITIES

ENGINEER'S NOTE:
 THE PERMITS ENGINEER, SIGNING THESE PLANS IS NOT PROVIDING ANY GUARANTEE AS TO THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE PERMITS ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE INFORMATION TO BE REASONABLY ACCURATE. THE PERMITS ENGINEER HAS NOT CONDUCTED ANY TESTS OR INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE CLIENT. THE PERMITS ENGINEER HAS NOT CONDUCTED ANY TESTS OR INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE CLIENT.

OWNER:
 DANIA TU
 1116 VIA MARBEL
 PALM BEACH GARDENS, FL 33422
 (954) 771-1539

APPLICANT:
 AAM PETERMAN
 40576 VIA HERRADURA
 GARDEN CITY, CA 92342
 (951) 771-1539

PLANS PREPARED BY:
 Majestic Design 3D
 P.O. Box 213
 Temecula, CA 92593
 (951) 925-3839
 MajesticDesign3D@gmail.com

ENGINEER OF WORK:
 Majestic Design 3D
 P.O. Box 213
 Temecula, CA 92593
 (951) 925-3839
 MajesticDesign3D@gmail.com

BENCHMARK:
 SEE SHEET 1

DATE:

SCALE: SEE PLAN

COUNTY OF RIVERSIDE
 LOT 3 PM 010/085 PM 5494
 APN 931-120-013
 PRRIGER GRADING PLAN
 (TENNIS COURT)

SHEET NO. G-4

DATE: 1.17.2015

APN 931-120-013

BMP 1800002

BGR 1800002